

REVIEW SHEET

B-4249

Historic Preservation Certification Application—Significance

Property: LEONARD C. CREWE, JR. BLDG., 2715 N. CHARLES ST., BALT., MD Project No.: _____

Historic District: CHARLES VILLAGE / ABELL

2-3-89 date initial application received by State _____ date(s) additional information requested by State

2-3-89 date complete information received by State _____

_____ date of this transmittal to NPS

Inspection of property by State staff? ☐ no ☒ yes date(s): 1-12-89

☒ There is adequate documentation enclosed to evaluate the historic character and integrity of this property.

_____ There is insufficient documentation to evaluate the property adequately. The application is missing the following items:

Reasonable efforts have been made to obtain this information. Copies of the information requests are enclosed.

NUMBER

1

This property involves:

☒ Extensive loss of historic fabric INTERIOR

☒ Substantial alterations over time INTERIOR

_____ Preliminary determination of listing

_____ for district

_____ for individual property

_____ Significance less than 50 years old

_____ Obscured or covered elevation(s)

_____ Moved property

_____ State recommendation inconsistent with NR documentation

_____ Recommendation different from the applicant's request

NUMBER

2

Complete item(s) below as appropriate.

(1) The documentation on file with the National Register cites the period(s) of significance of this historic district as 1868 - 1930

(2) The property ☒ contributes _____ does not contribute to the historic significance of this registered historic district in:

☒ location ☒ design ☒ setting ☒ materials ☒ workmanship ☒ feeling ☒ association

☒ Property is mentioned in the NR or State or local district documentation in Section 7, page 5.

(3) For properties less than 50 years old:

_____ the historical merits of the district (the periods and areas of significance) are documented in the National Register form or district documentation on file as less than 50 years old, justifying the certification of this property's contribution.

_____ the exceptional historical or architectural significance of this property as described in the National Register form or district documentation on file justifies its certification as contributing.

_____ there is insufficient justification to consider this property as contributing to the district for its individual exceptional architectural or historical significance or the significance of the district does not extend to the last 50 years.

(4) For preliminary determinations:

A. The status of the nomination for the property/historic district:

_____ Nomination has already been submitted to State review board, and nomination will be forwarded to the NPS within _____ months. (Draft nomination is enclosed.)

_____ Nomination was submitted to the NPS on _____.

_____ Nomination will be submitted to the State review board within twelve months.

_____ Nomination process likely will be completed within thirty months.

_____ Other, explain:

B. Evaluation of the property:

_____ Property is individually eligible and meets National Register Criteria for Evaluation

_____ Property is located within a potential registered district that meets National Register

Criteria for Evaluation: ☐ A ☐ B ☐ C ☐ D

Criteria Considerations: ☐ A ☐ B ☐ C ☐ D ☐ E ☐ F ☐ G

(5) The property is located in a registered district, is outside the period(s) or area(s) of significance as documented in the NR form and:

_____ appears to contribute to the expanded significance of the district. Enclosed is the revised nomination documentation.

_____ does not appear to contribute to the period(s) or area(s) of significance of the district.

NUMBER

3

Describe and evaluate the physical characteristics of the property, its integrity, and its significance within the context of the historic district (or individually for preliminary determinations of individual listings).

COMPLETED IN 1897, THE FORMER SS. PHILIP AND JAMES' CHURCH IS CONSTRUCTED OF ROUGH, FORT DEPOSIT GRANITE AND BRICK AND REFLECTS THE ROMANESQUE STYLE. ALTHOUGH LITTLE HAS CHANGED ON THE EXTERIOR, A CIRCA 1940'S CONVERSION TO HOUSING ALTERED THE INTERIOR SIGNIFICANTLY. THE SANCTUARY WAS INFILLED TO CREATE A TOTAL OF FIVE LEVELS. THE PAIRS OF LARGE RECTANGULAR WINDOWS AT THE SECOND LEVEL ABOVE GRADE WERE REMOVED AND REPLACED WITH PAIRS OF SMALLER WINDOWS.

ALTHOUGH THE INTERIOR WAS RECONFIGURED, THERE ARE ORIGINAL ELEMENTS STILL IN PLACE. AMONG THEM ARE THE FRONT STAIRCASE, MOST ORIGINAL WINDOWS, MAJOR PORTIONS OF THE CEILING VAULTS AND A PORTION OF THE ORNATE DECORATIVE WORK ABOVE THE CORNICE OF THE WALL ALTER AGAINST WHICH THE MAIN ALTAR WAS LOCATED.

WE BELIEVE THAT THIS CHURCH BUILDING, EVEN IN ITS ALTERED STATE, CONTINUES TO BE A MAJOR ARCHITECTURAL ELEMENT WITHIN THE DISTRICT AND WORTHY OF PART I CERTIFICATION.

NUMBER

4

State Official Recommendation:

This application for the above-named property has been reviewed by MICHAEL DAY

a professionally qualified architect, architectural historian, or historian on my staff.

- ☒ The property is included within the boundaries of a registered historic district, contributes to the significance of the district, and is a "certified historic structure" for the purpose of rehabilitation.
- ☐ The property is included within the boundaries of a registered historic district, contributes to the significance of the district, and is a "certified historic structure" for a charitable contribution for conservation purposes in accordance with the Tax Treatment Extension Act of 1980.
- ☐ The property does not contribute to the significance of the above-named district.
- ☐ The property appears to meet the National Register Criteria for Evaluation and will likely be nominated.
- ☐ The property does not appear to meet the National Register Criteria for Evaluation and will not be nominated.
- ☐ The property appears to contribute to the significance of a:
 - ☐ potential historic district which appears to meet the National Register Criteria for Evaluation and will likely be nominated.
 - ☐ registered historic district but is outside the period(s) or areas of significance as documented in the National Register nomination or district documentation on file with the NPS. Revised nomination or district documentation is enclosed.
- ☐ The property should be denied a preliminary determination that it could qualify as a certified historic structure.
- ☐ Insufficient documentation has been provided to evaluate the structure.

☐ Detailed NPS review recommended ☐ Precedent-setting case ☐ Forwarded without recommendation

2-28-89

Date

State Official Signature

☐ See attachments:

NPS Comments:

Date

NPS Reviewer

UNITED STATES DEPARTMENT OF THE INTERIOR
NATIONAL PARK SERVICE

RECEIVED	OMB Approved No. 1024-0009 Expires 8/31/86
	FEB - 3 1989
MARYLAND HISTORICAL	
Project Number: <u>B-4249</u>	

HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 1 - EVALUATION OF SIGNIFICANCE

Instructions: Read the instructions carefully before completing application. No certification will be made unless a completed application form has been received. Use typewriter or print clearly in black ink. If additional space is needed, use continuation sheets or attach blank sheets.

1. Name of property: Leonard C Crewe, Jr Bldg/ originally SS. Philip and James' Church

Address of property: 2715 North Charles Street

City Baltimore County xxxxxx State MD Zip Code 21218

Name of historic district: Charles Village/Abell

☒ National Register district ☐ certified state or local district ☐ potential historic district

2. Check nature of request:

- ☒ certification that the building contributes to the significance of the above-named historic district for the purpose of rehabilitation.
☐ certification that the structure or building and, where appropriate, the land area on which such a structure or building is located contributes to the significance of the above-named historic district for a charitable contribution for conservation purposes.
☐ certification that the building does not contribute to the significance of the above-named district.
☐ preliminary determination for individual listing in the National Register.
☐ preliminary determination that a building located within a potential historic district contributes to the significance of the district.
☐ preliminary determination that a building outside the period or area of significance contributes to the significance of the district.

3. Authorized project contact:

Name Frank Gant/Frank Gant Architects Title Project Architect

Street 214 W. Madison Street City Baltimore

State Maryland Zip 21201 Telephone Number (during day): (301) 462-4200

4. Owner: 1. Elinor R. Bacon, and 2) Thomas C. Barry / DBA-Crewe Assoc.

Name c/o Bacon Associates

Street 2418 St Paul Street City Baltimore,

State MD Zip 21218 Telephone Number (during day): (301) 467-2585

I hereby attest that the information I have provided is, to the best of my knowledge, correct, and that I own the above-named property.

Owner's Signature Elinor R. Bacon Date 2/2/89

Social Security Number or Taxpayer Identification Number 1) [REDACTED] 2) [REDACTED]

NPS Office Use Only

The National Park Service has reviewed the "Historic Preservation Certification Application - Part 1" for the above-named property and hereby determines that the property:

- ☐ contributes to the significance of the above-named district and is a "certified historic structure" for the purpose of rehabilitation.
☐ contributes to the significance of the above-named district and is a "certified historic structure" for a charitable contribution for conservation purposes in accordance with the Tax Treatment Extension Act of 1980.
☐ does not contribute to the significance of the above-named district.

Preliminary Determinations:

- ☐ appears to meet the National Register Criteria for Evaluation and will likely be listed in the National Register of Historic Places if nominated by the State Historic Preservation Officer according to the procedures set forth in 36 CFR Part 60.
☐ does not appear to meet the National Register Criteria for Evaluation and will likely not be listed in the National Register.
☐ appears to contribute to the significance of a potential historic district, which will likely be listed in the National Register of Historic Places if nominated by the State Historic Preservation Officer.
☐ appears to contribute to the significance of a registered historic district but is outside the period or area of significance as documented in the National Register nomination or district documentation on file with the NPS.
☐ does not appear to qualify as a certified historic structure.

Date

National Park Service Authorized Signature

National Park Service Office

CERTIFICATION APPLICATION—
PART 1

Property Name

2715 No. Charles Street

Property Address Crewe Associates

& [REDACTED]

Owner Name/Social Security or Taxpayer ID Number

Project Number:

B-4249

Description of physical appearance:

See Continuation Sheet

Cornerstone Sept 5, 1897

Dedication May 1, 1898

Date of Construction:

Jubilee Year Book May 1923

Source of Date:

SS. Philip and James' Church

Date(s) of Alteration(s): mid 1940s, late 1970s, early 1980s

Has building been moved? ☐ yes ☒ no. If so, when?

6. Statement of significance:

See Continuation Sheet

7. Photographs and maps.

Attach photographs and maps to application.

Continuation sheets attached: ☒ yes ☐ no

2715 No. Charles Street

Crewe Associates

5. DESCRIPTION OF PHYSICAL APPEARANCE

The Charles Street facade is Romanesque in style, and is constructed of rough Port Deposit granite. The projecting central pediment is Neo-Classical, with dentils and applied paired columns with rectangular windows. On each side are apsidioles with rectangular windows. Originally the central pediment was fenestrated by three 1 over 1 windows above the entry. Above that, and beneath the half circle arch with central keystone, was a rose window. The rose window was removed, probably when the congregation moved. In its place are installed three clear fixed glass lites, the same width as the 1 over 1 windows below, over a horizontal infill panel. The other three sides of the building, and the L-shaped extension in the rear, are constructed of brick with stone sills at the window openings. The original second level lintels are also stone.

Originally the building was three levels, including the basement. In the 1940's the use was changed to housing, and the interior was infilled to create a total of five levels. The pairs of large rectangular windows at the second above grade level were removed and replaced with pairs of smaller windows located above and below an infill panel. This change created windows for the new third and fourth levels. The stone lintels and sills remained in place. Otherwise, with the exceptions of non-original doors and the removal of a side door, probably done in the 1940's, the exterior of the building, minus the religious artifacts, is generally intact.

Although the interior was reconfigured by the construction of new walls, floors and ceilings, there are original elements still in place. The front staircase is intact. Most of the original windows remain, as do major portions of the ceiling vaults and a portion of the ornate decorative work above the cornice of the wall altar against which the main altar was located.

2715 No. Charles Street

Crewe Associates

6. STATEMENT OF SIGNIFICANCE

The District

The Charles Village/Abell Historic District is primarily a residential district. Most of the 1,500 structures in this forty-five city block area are rowhouses constructed between 1895 and 1915 by some of the City's most important and influential developers and builders. It is an example of early community planning efforts that resulted in suburban-like landscaped front yards and park-like boulevards around the rowhouses that were built mostly in large groupings. The eclectic architectural detailing of the district is a departure from traditional Baltimore rowhouses, and provides a transition between the highly urban areas to the south and the garden suburbs to the north.

The Building

This was one of the earliest buildings to be constructed in the district. It was the first church. At the time, the community, the forerunner of Charles Village, was known as Peabody Heights. This Roman Catholic parish church was established at the direction of James Cardinal Gibbons to further the spread of religion in the growing northern section of the city. John Stack, Jr. designed the building and Cornelius Sheehan constructed it. The facilities included a rectory in the L-shaped rear extension, and a Parish School and Sunday School hall housed in the basement. The Catholic Red Book is quoted as saying in 1908 that the structure "is a unique example of church architecture".

A number of factors made the existence of this parish a tenuous one. The neighborhood did not yet have a population large enough to provide a substantial attendance. The Jones Falls had still to be bridged to provide easy access. An economic depression slowed not only the growth of the community, but also made the indebtedness of the parish so severe that, in 1900, options were considered to temporarily close or sell the building. Instead SS. Philip and James' was attached and operated as a mission to St. Ann's until 1901 when Rev. John E. Wade became its first permanent priest. During the following two decades, the parish and the surrounding community prospered. The growth was so significant that in 1920, Cardinal Gibbons approved the

purchase of a larger and more commanding site a block to the north, also on North Charles Street. In 1928, the new church building was dedicated, complete with the altar, altar rail, crucifix and statue of St. Anthony moved from the original building.

The original church building changed usage after being sold to the O.L. Bonifay Construction Company in 1943. It was remodeled into apartments for housing forty-eight families. Two other changes in ownership occurred (1945 and 1977) before the American Red Cross purchased the building in 1980 to operate it as the Leonard C. Crewe, Jr. Building, an extension to its main building located next door to the south.

The parish of SS. Philip and James' is an integral part of the historic district. It was created as the district was first being developed, and it struggled and flourished along with it. Although more spacious and grander quarters were eventually constructed, the parish remained within the district. The church building at 2715 No. Charles is historically significant both as an early structure and as the original site of a parish that is still today very prominent in the district.

HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 1 - EVALUATION OF SIGNIFICANCE

Property Name and Address

Leonard C. Crewe, Jr. Building/
originally SS. Philip and James' Church
2715 North Charles Street
Baltimore, MD 21218

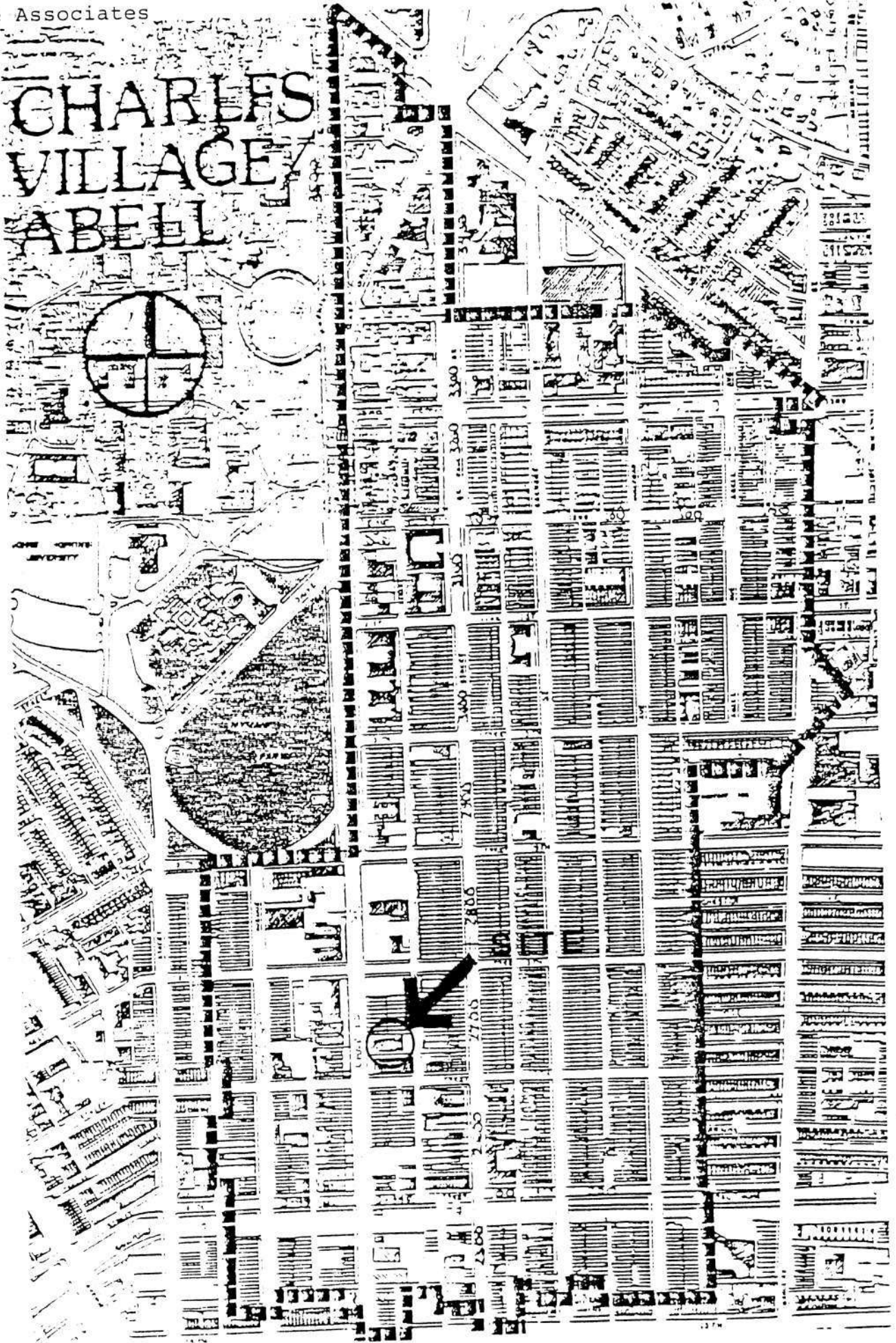
Owner Name and Tax ID Number

Elinor R. Bacon and Thomas C. Barry
DBA - Crewe Associates
179-34-3476 and 272-40-3092

Photo No. 3

North Charles St
facade viewed
from
southwest angle





B-4249
Sts. Philip & James Church (Leonard C. Crewe Jr. Building)
2715 N. Charles Street
Block 3841 Lot 001A
Baltimore City
Baltimore East Quad.

